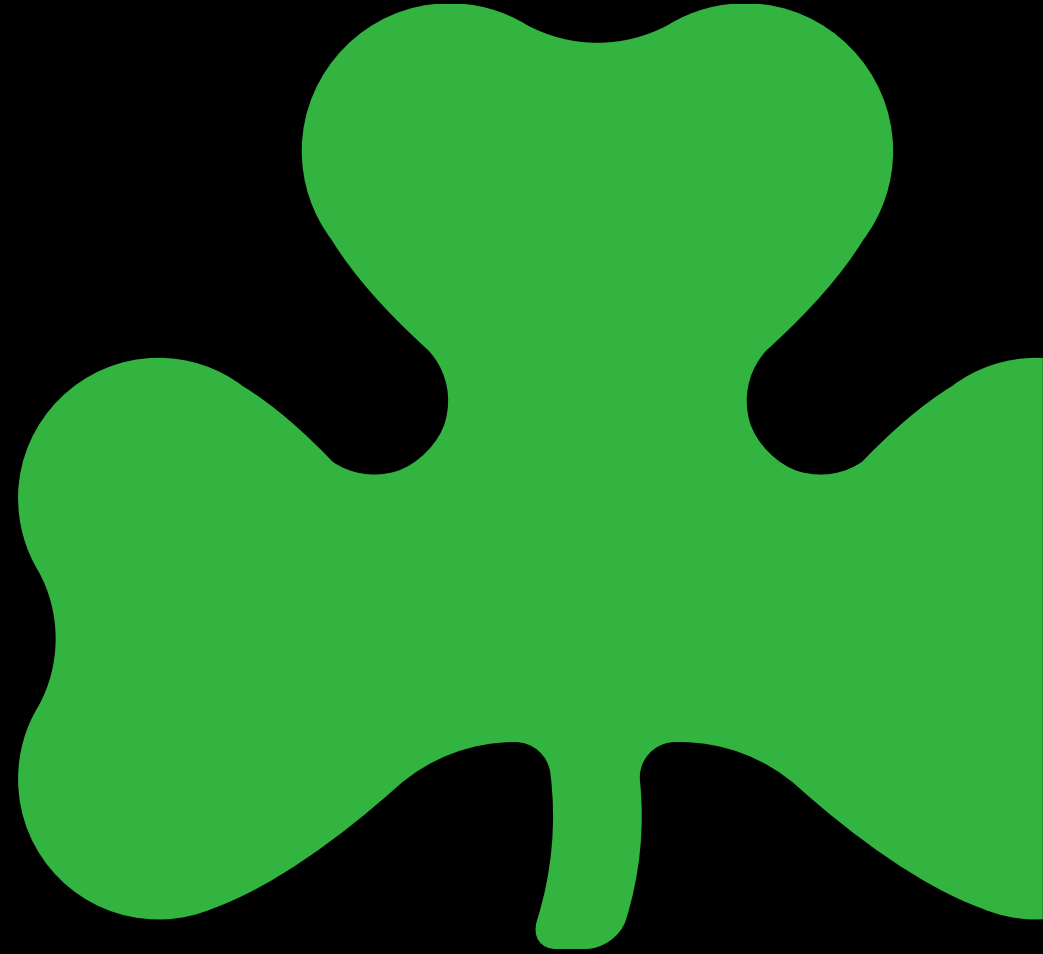


TOWN  OF  
**ERIN**

**Mayor's Breakfast**



Spring 2025

# Planning for Erin

How we got here and where  
do we want to go?

**Michael Dehn, Mayor**

# Wellington County Official Plan

- The Wellington County Official Plan was adopted by County Council on September 24, 1998, approved by the Ministry of Municipal Affairs on April 13, 1999, and came into effect on May 6, 1999.
- There are 126 amendments to the Wellington County Official Plan, but there has not been an update to the Official Plan since then.



# Town of Erin Official Plan

The County Official Plan designates three major land use systems - the Greenlands system, the Rural system and the Urban system. The Greenlands system consists of natural heritage features. The Rural system consists of prime and secondary agricultural areas, and the Urban system consists of hamlets and urban centres.

In the Town of Erin, there are two Urban Centres - Erin and Hillsburgh. The remainder of the Town is part of the Greenlands and Rural systems.

The County Plan also provides for local municipalities to rely on the County's planning policies or to develop their own more detailed policies for all or parts of their community. The Town of Erin has chosen to prepare its own local Official Plan.

It is the intention of the Town to seek amendments to the County Official Plan as needed to implement the detailed policies of this Erin Plan. This Plan must be read in conjunction with the County Official Plan.

Approved by Wellington County Council December 14, 2004

As of 2021 the Town of Erin Official Plan has had 12 amendments.





# Vision Statement: Agriculture

- That agriculture will continue to be an important component of the Town's economy and that prime agricultural soils (Classes 1-3) will be preserved for agricultural use by protecting them from non-farm uses.
- That the rural character of the Town will be maintained by keeping large tracts of land workable and in production and directing new development to existing developed areas.
- That the planning policies for non-prime agricultural areas will be more flexible to permit agricultural activities on smaller holdings, as well as limited severances and other non-agricultural uses.



# Vision Statement: Residential Growth

- That low density residential development, consisting of primarily single-detached dwellings, will continue to be the predominant form of housing given the lack of municipal sewers, but a variety of housing types will be encouraged.
- That new development be provided for primarily by the expansion of the existing settlement areas of Erin and Hillsburgh. Limited expansion of other hamlet areas will also be considered where appropriate.
- That urban design standards which retain the traditional small-town character of the Town's urban centres be applied while envisioning their development as the focal point for commercial, cultural and economic development activities.

# **Vision Statement: Natural Environment**

- That the elements of the natural environment, including the rivers, their valleys, wetlands, groundwater and forestry resources of the Town be protected and enhanced and wisely managed to provide a healthy sustainable environment.
- That the Town will be proactive regarding the wise utilization of natural resources, particularly regarding control over water and aggregate extraction issues.
- That the Town's urban design standards will respect the Town's natural features and encourage people to live in harmony with the natural environment.



# Vision Statement: Economic Development

- That the Town will be “open for business” by encouraging additional commercial and industrial opportunities to provide greater employment opportunities to complement the Town’s residential development. In particular clean, technologically smart industry and business is encouraged.
- That the Town will encourage rural tourism as an economic development opportunity.
- That the Town continue to support home based businesses and cottage industries, enabled through technology, as an alternative form of economic development.



# Vision Statement: Transportation and Services

- That the Town consider new technologies which may provide options for servicing of new development in the Town.
- That the Town will encourage planning for the safe routing of local and through traffic in the Town of Erin, including the designation of haul routes and an Erin by-pass.
- That the Official Plan establish a hierarchy of roads within the municipality and provide for the development of a Road Management Plan which specifies the level of maintenance to be provided by the Town.

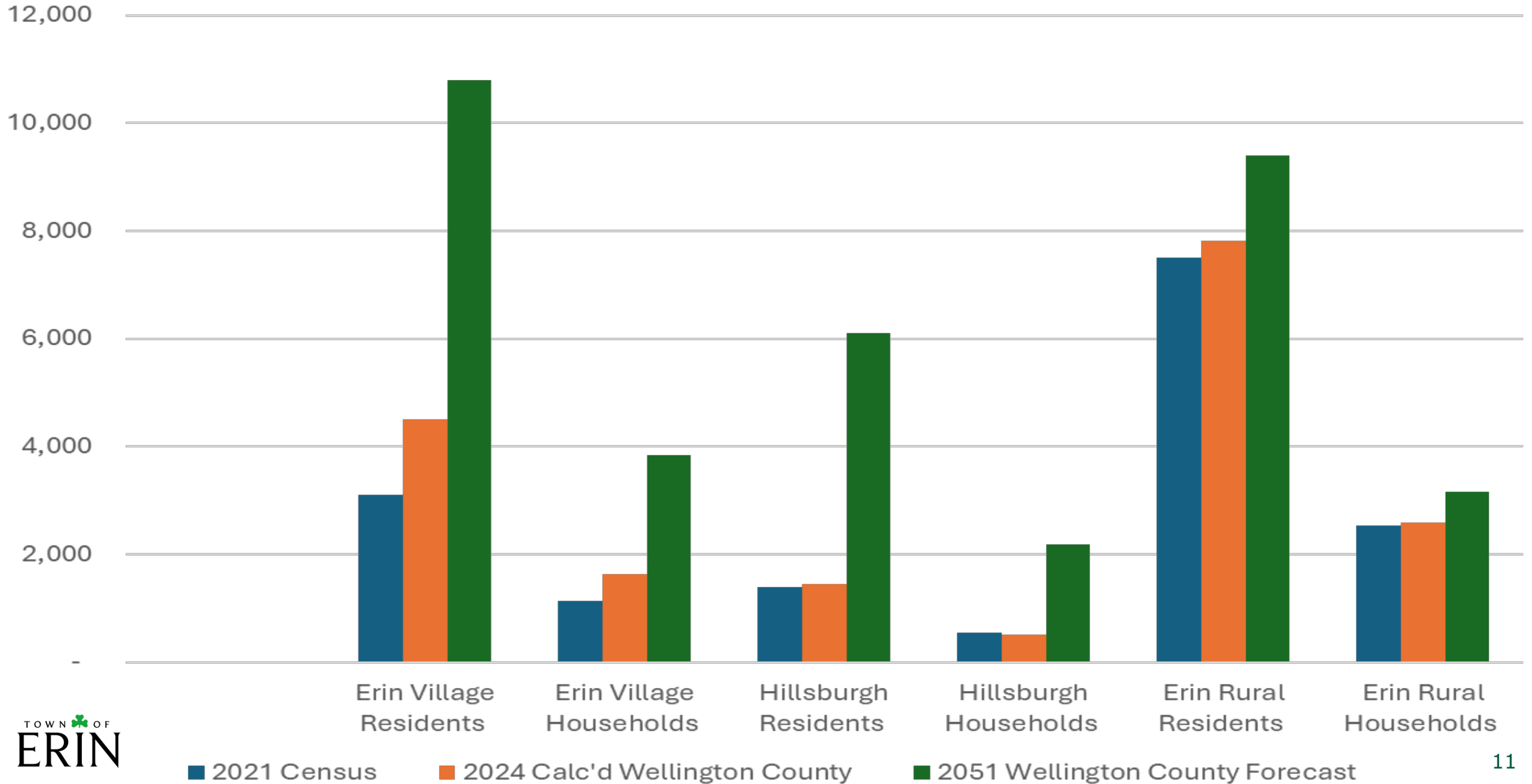


# Growth Management Strategy

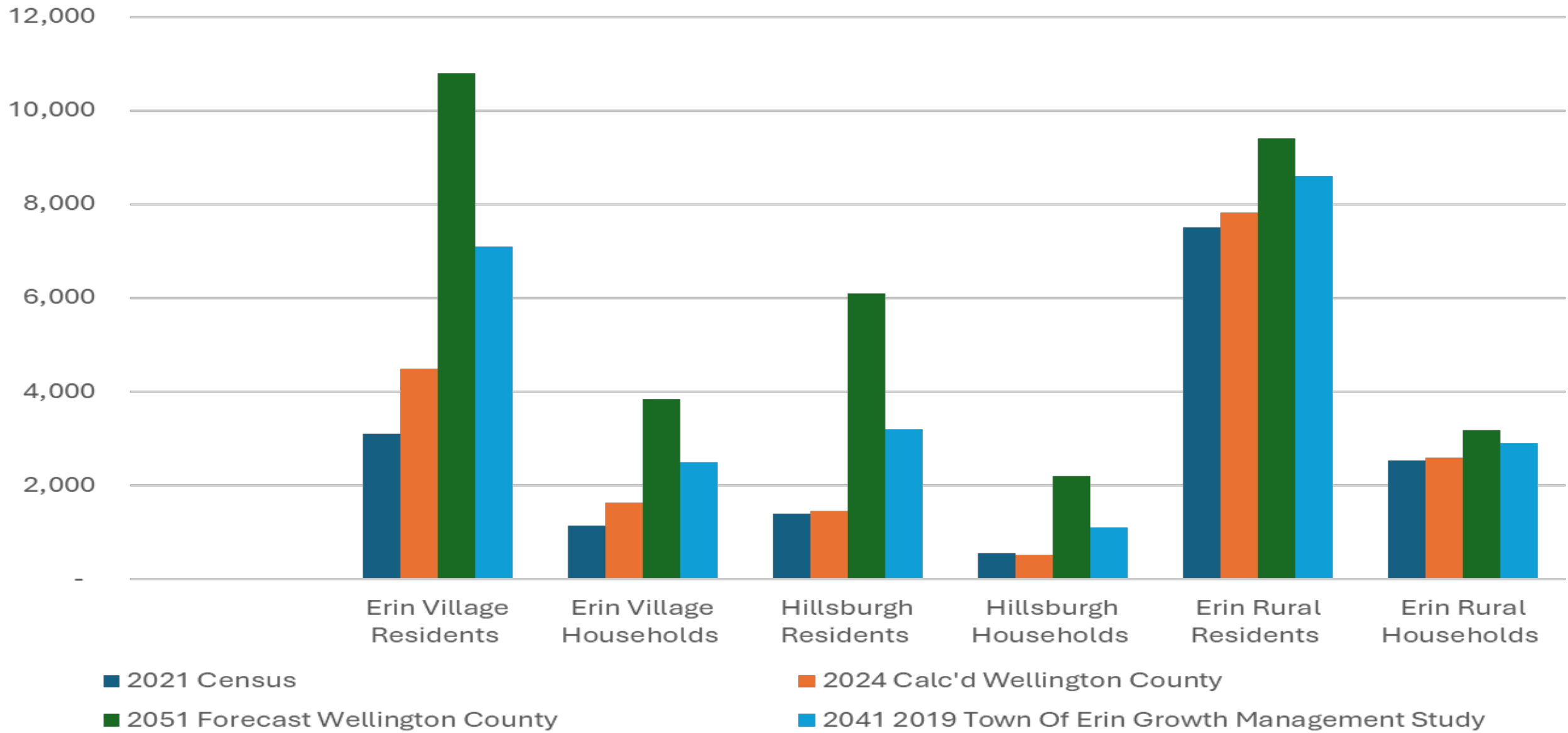
- The Town of Erin's (the Town) ability to accommodate growth has been limited for some time, largely due to infrastructure capacity constraints. The Town has undertaken several initiatives to address the infrastructure challenges in recent years, for example, the Urban Centre Wastewater Servicing Class Environmental Assessment (UCWS EA) and the Municipal Water Supply EA (ongoing).
- These infrastructure investments will support existing development and growth in the Town's Urban Centres.
- The Town's current supply of designated residential land in Erin and Hillsburgh exceeds demand to 2041; therefore, the Growth Management Strategy (GMS) must provide guidance on where to direct growth within the 2041 planning horizon.
- This study takes into consideration land use planning, infrastructure planning and market demand factors. The purpose of this report is to provide a recommended framework for growth to 2041 that is aligned with the UCWS EA.



# Town of Erin Growth (2021-2051)



# Town of Erin Growth (2021-2051)

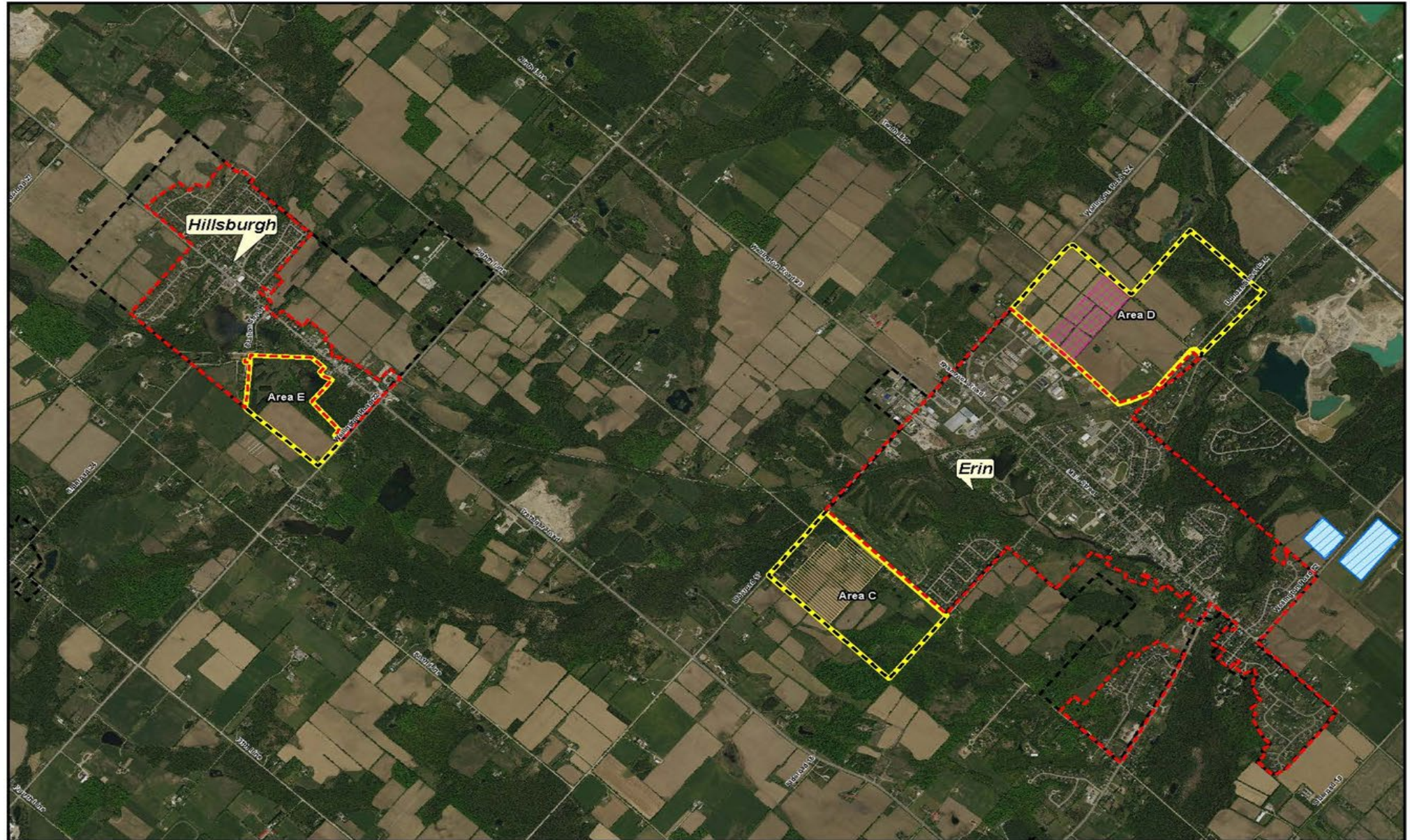




# TOWN OF ERIN GROWTH MANAGEMENT STRATEGY

## PREFERRED GROWTH SCENARIO

FIGURE 31



### LEGEND

- Defferal Area 2
- Future Development Area
- Potential Wastewater Treatment Plant Site

### Land Supply

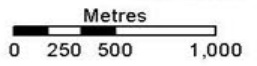
- Preferred Growth Option

### Base Mapping

- Built Boundary
- Urban Centre / Hamlet
- Municipal Boundary



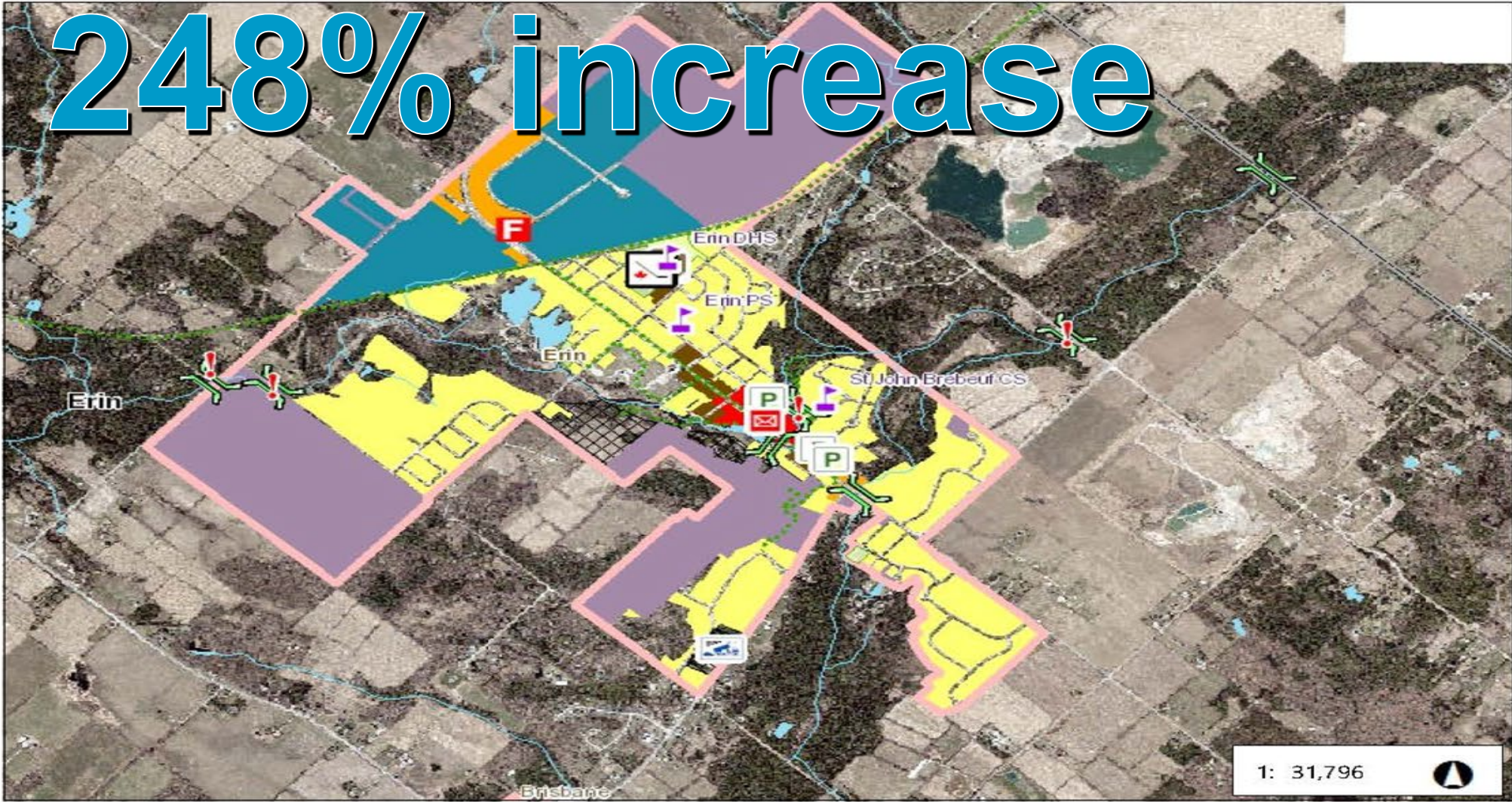
Map Prepared by: PFM  
Dillon Consulting Limited  
Map Checked by: MM  
Dillon Consulting Limited  
October 10, 2019  
Scale 1:30,000







# 248% increase



### Legend

- Municipal Offices
- OPP Stations
- Hospitals
- Fire Stations
- Information Centres
- Schools
- Post Offices
- Arenas
- Community Centres
- Curling Rinks
- Libraries
- Museums
- Park Parking Lots
- County Garages
- Bridges
- Roads**
  - Local Road
  - County Road
  - Highway
- Trails
- Waterbodies
- Watercourses
- Parks
- Urban Centres and Hamlets
- Municipalities
- Ontario - Roads

1: 31,796



1.6 0 0.81 1.6 Kilometers



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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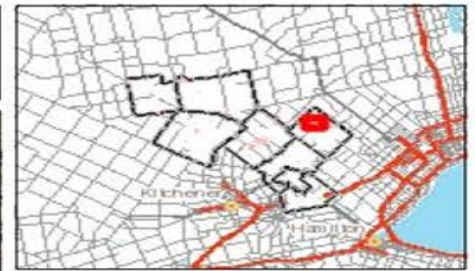
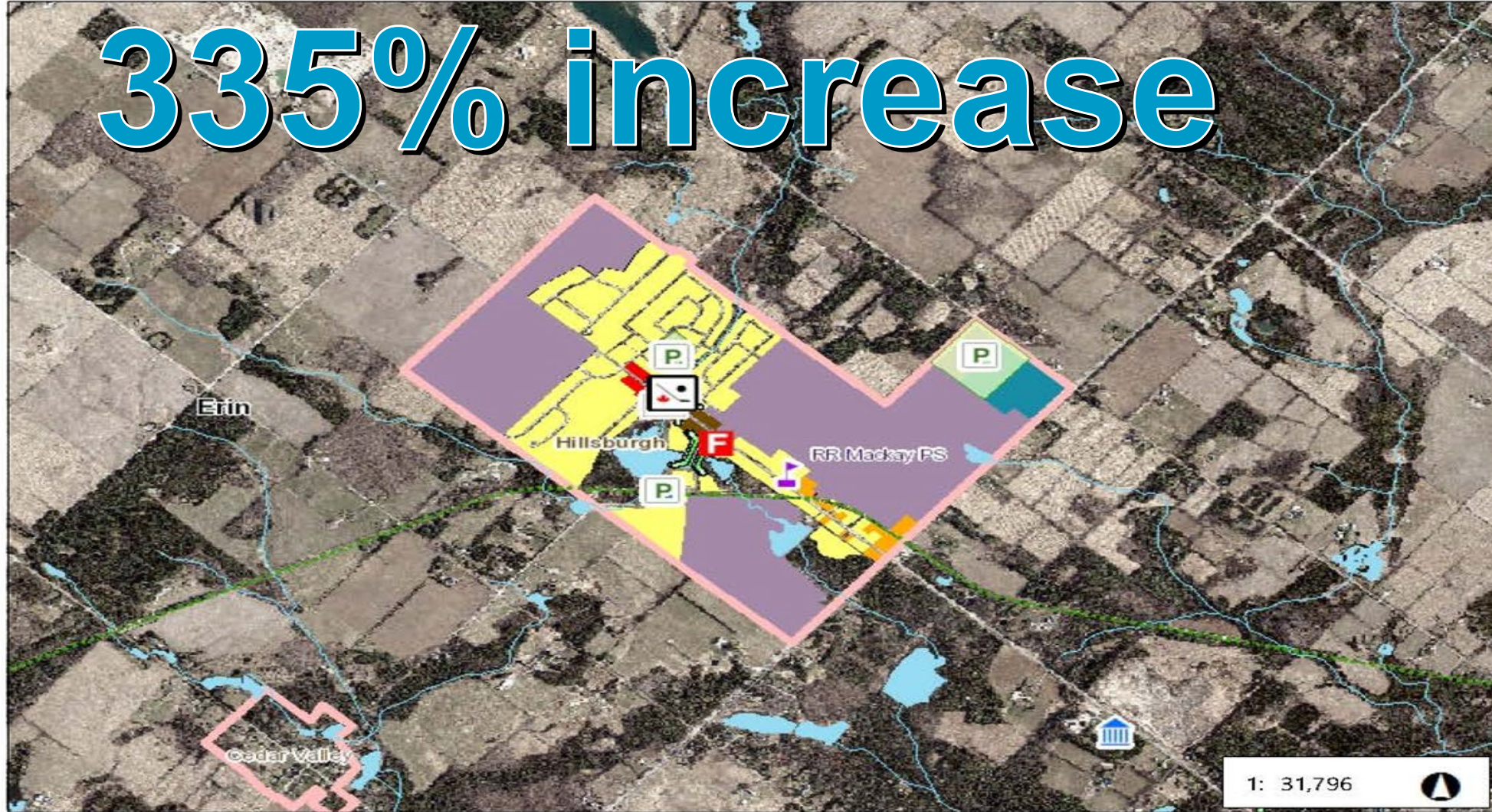
THIS IS NOT SURVEY DATA. Parcels - Teranet 2002, Wellington County 2022

### Notes





# 335% increase



### Legend

- Municipal Offices
- OPP Stations
- Hospitals
- Fire Stations
- Information Centres
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THIS IS NOT SURVEY DATA. Parcels - Teranet 2002, Wellington County 2022

### Notes



# The Current Landscape

Ontario's *prime agricultural land* is a finite, non-renewable resource comprising less than 5% of Ontario's land base. It is the foundation for food, fibre and fur production, the local food economy, agri-food exports, economic prosperity and the growing bio-based economy. Secondary agricultural land often is as productive in the foundation listed Generally, does not have the same protections as primary agricultural land.

Town of Milton Official Plan as well as the Region of Halton Official Plan (our approval authority) does not permit severances (new lot creations) in the rural areas of Milton. The only severances permitted are lot line adjustments that are minor and for legal purposes only.



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# The Current Landscape

## Planning for the Future

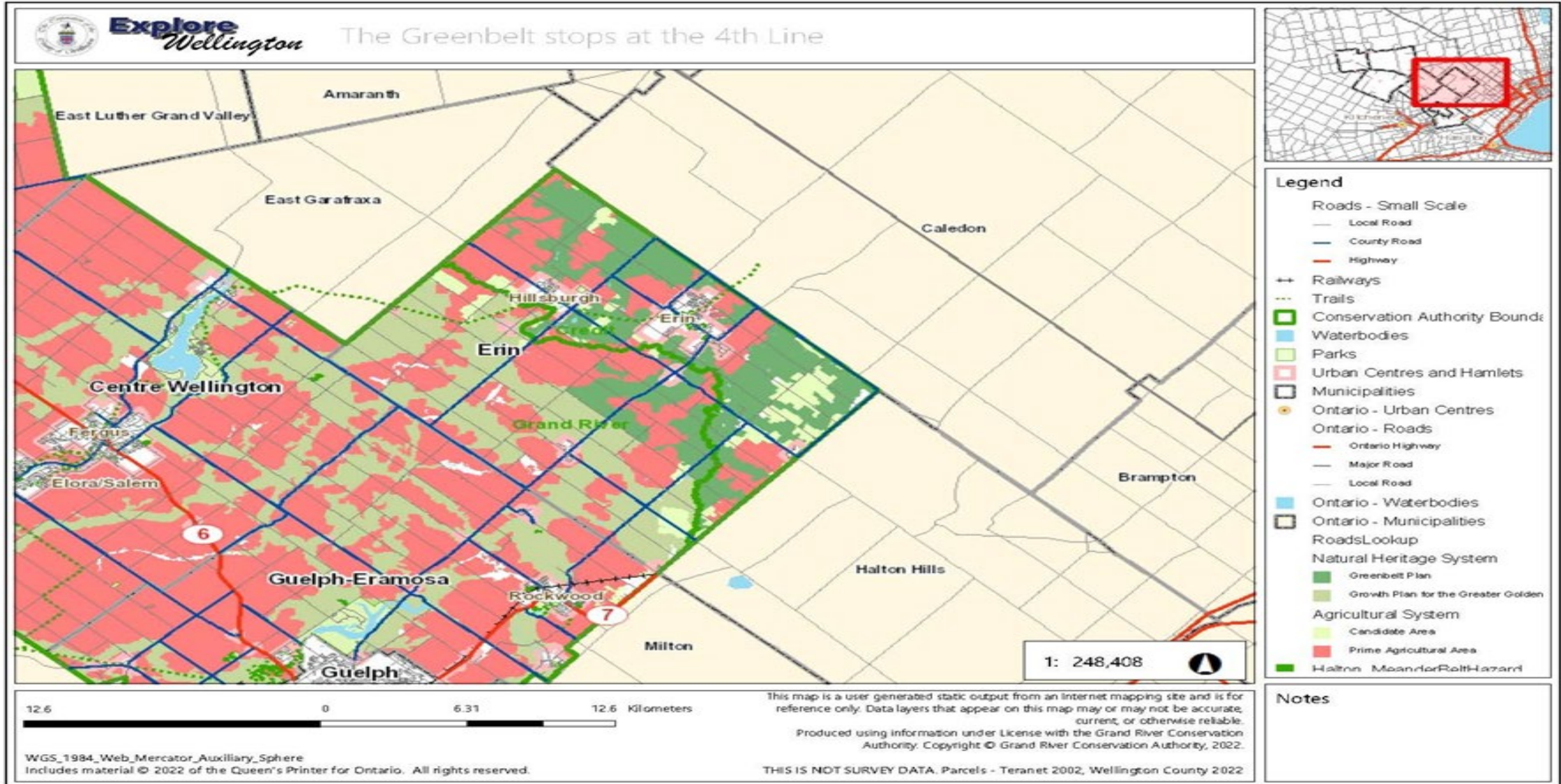
### Future Growth Limitations

Only Erin Village and Hillsburgh can be considered for expansion:

- Limited to no more than a 5% increase in the size of the settlement area up to a maximum of 10ha
- Residential development would be limited to no more than 50% of the lands that would be added (5ha or less)
- Expansion into Greenbelt Natural Heritage System is prohibited
- Hamlets within Greenbelt cannot be expanded (Brisbane and Ballinafad)

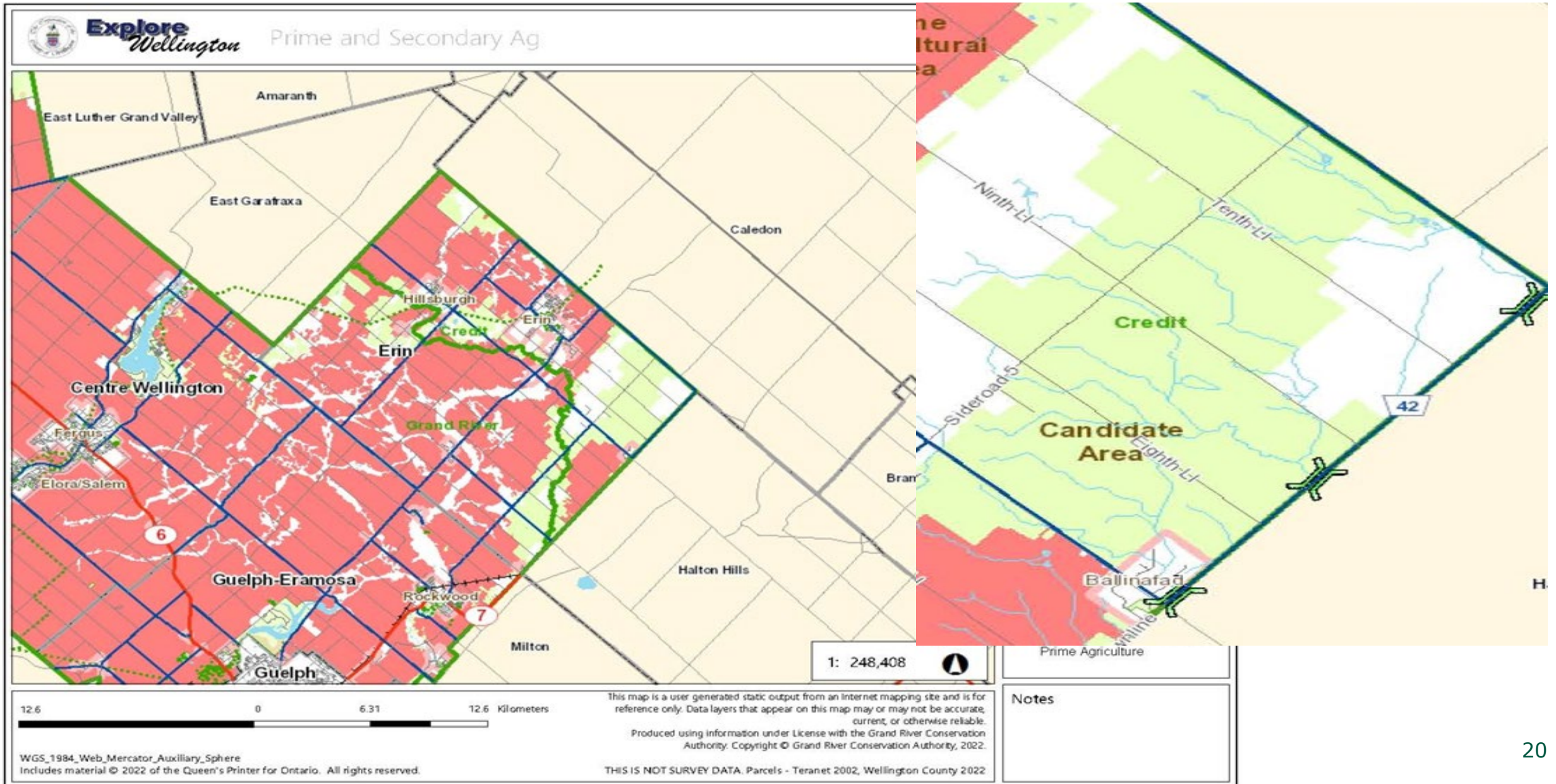


# Greenbelt cut off by a road?





# Area awaiting a decision





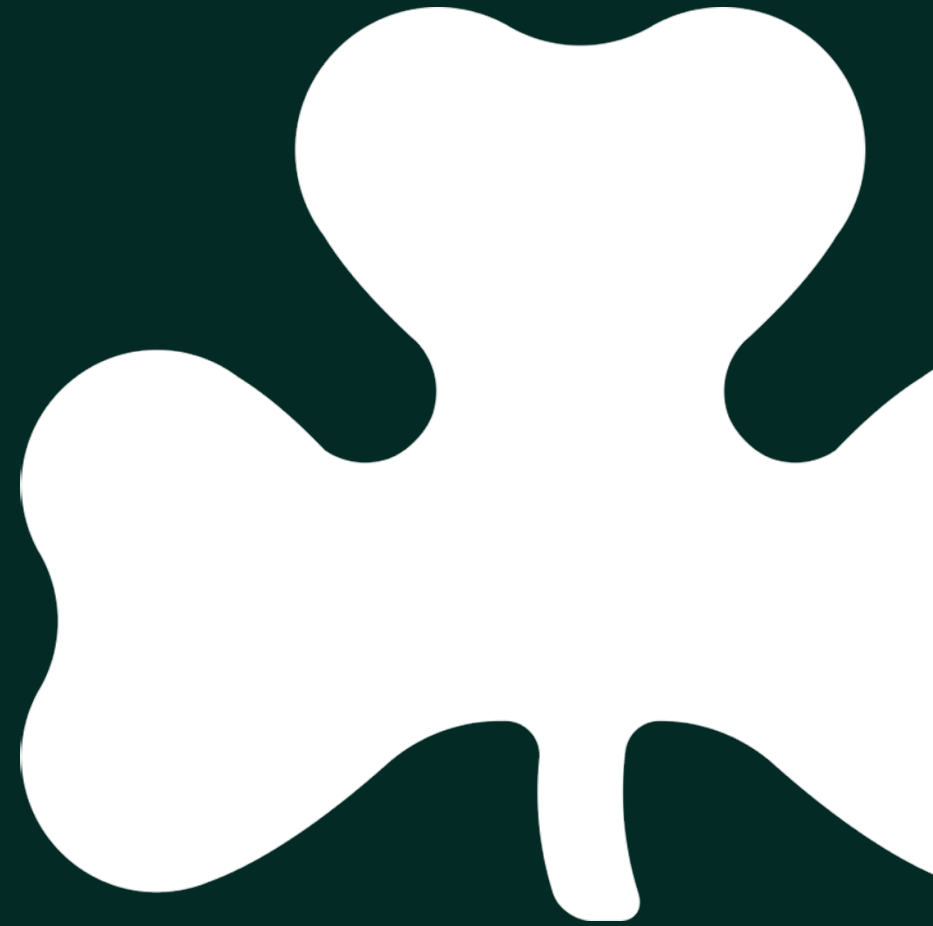


**Can gravel pits  
be repurposed?**

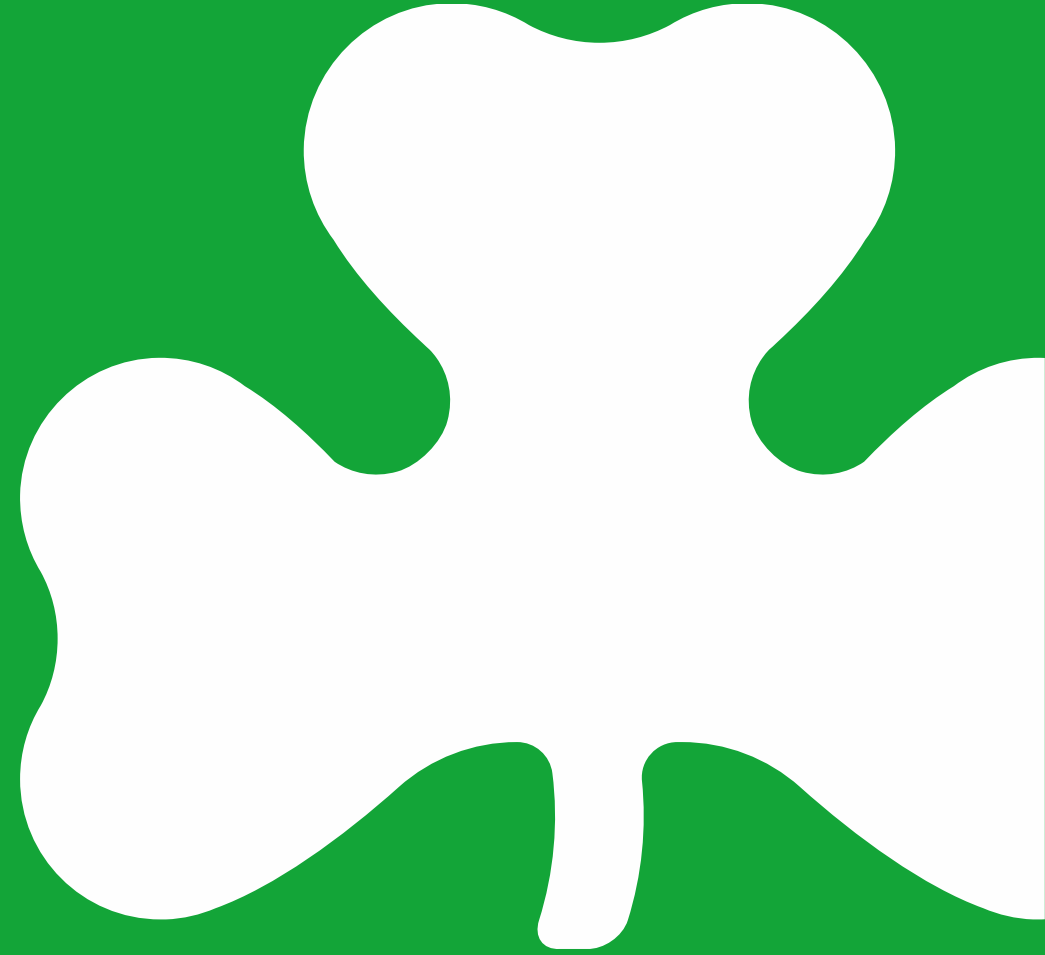


# Chief Administrative Officer

Rob Adams



# Building and Planning

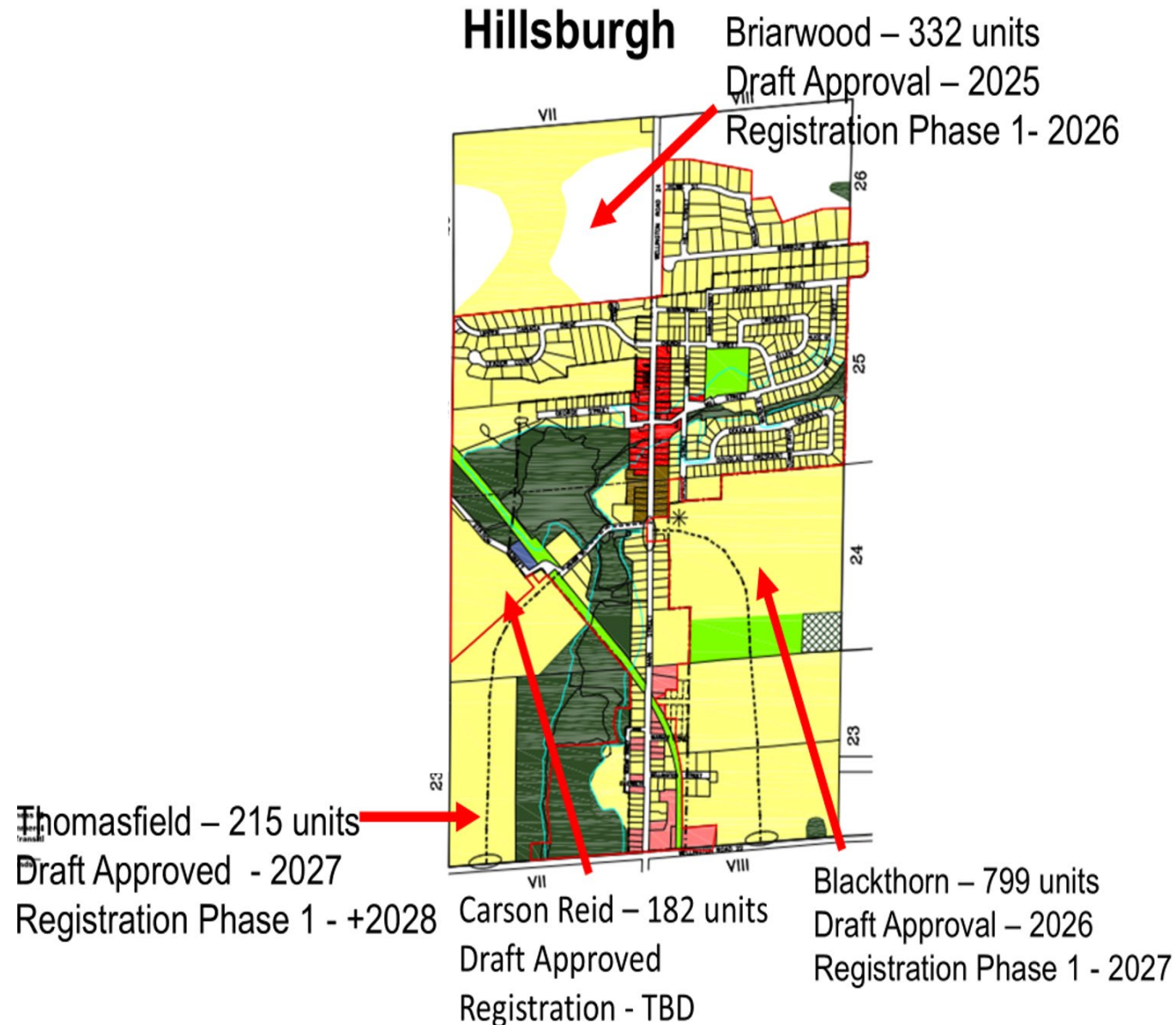




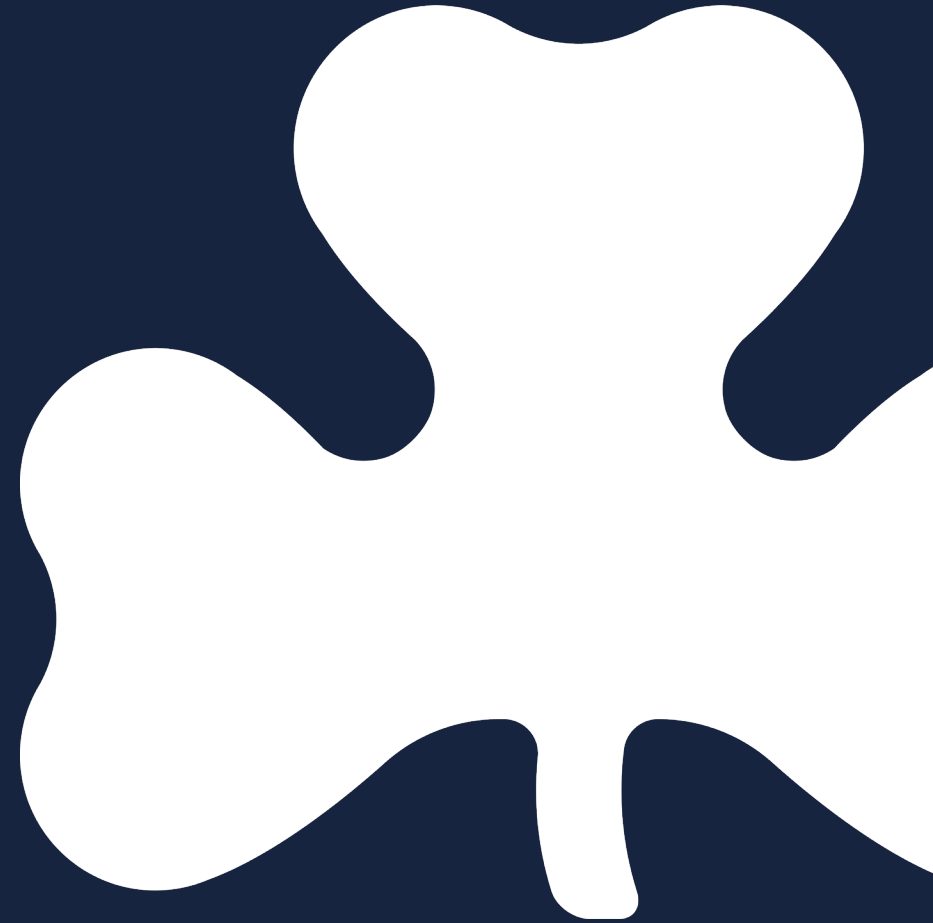




# Projected timelines for active developments



# Legislative Services







## **Promote accountability, transparency and good governance**

- Enhanced support for Advisory Committees
- Partnership with ServiceOntario, offering improved application process for marriage licences

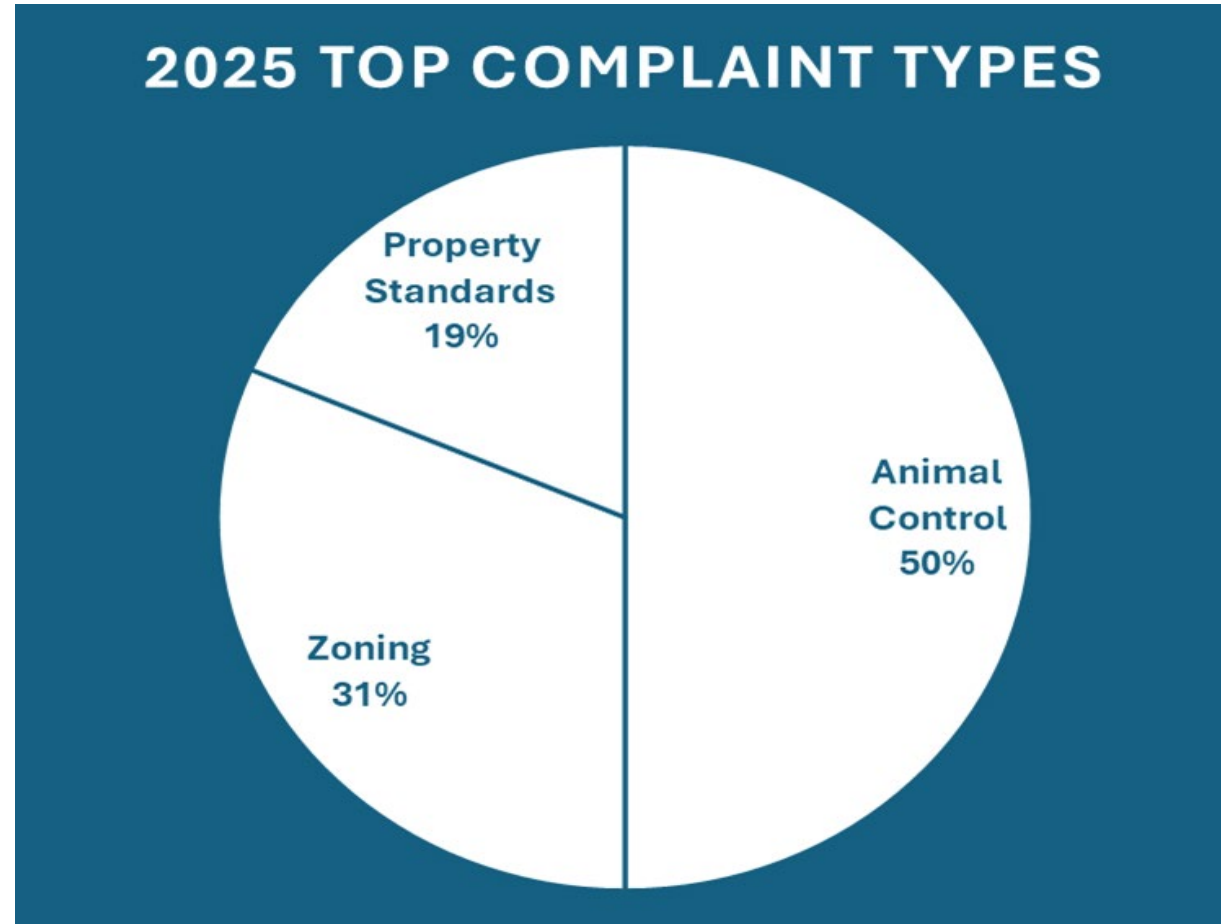


# Meet our Crossing Guards!





# By-law Enforcement



**'Ensuring compliance with municipal by-laws through education, investigation coordination and ultimately prosecution.'**

# Online By-Law Enforcement Portal

Anticipated  
mid-May

- Convenient online reporting
- GIS enabled
- Efficient processing





# Your Community Employer of Choice!



Increased  
Employee  
Engagement in  
Community

Reduced  
Employee  
Turnover

Skilled  
Workforce

# Fibre internet coming to Centre 2000

Target date: April 25





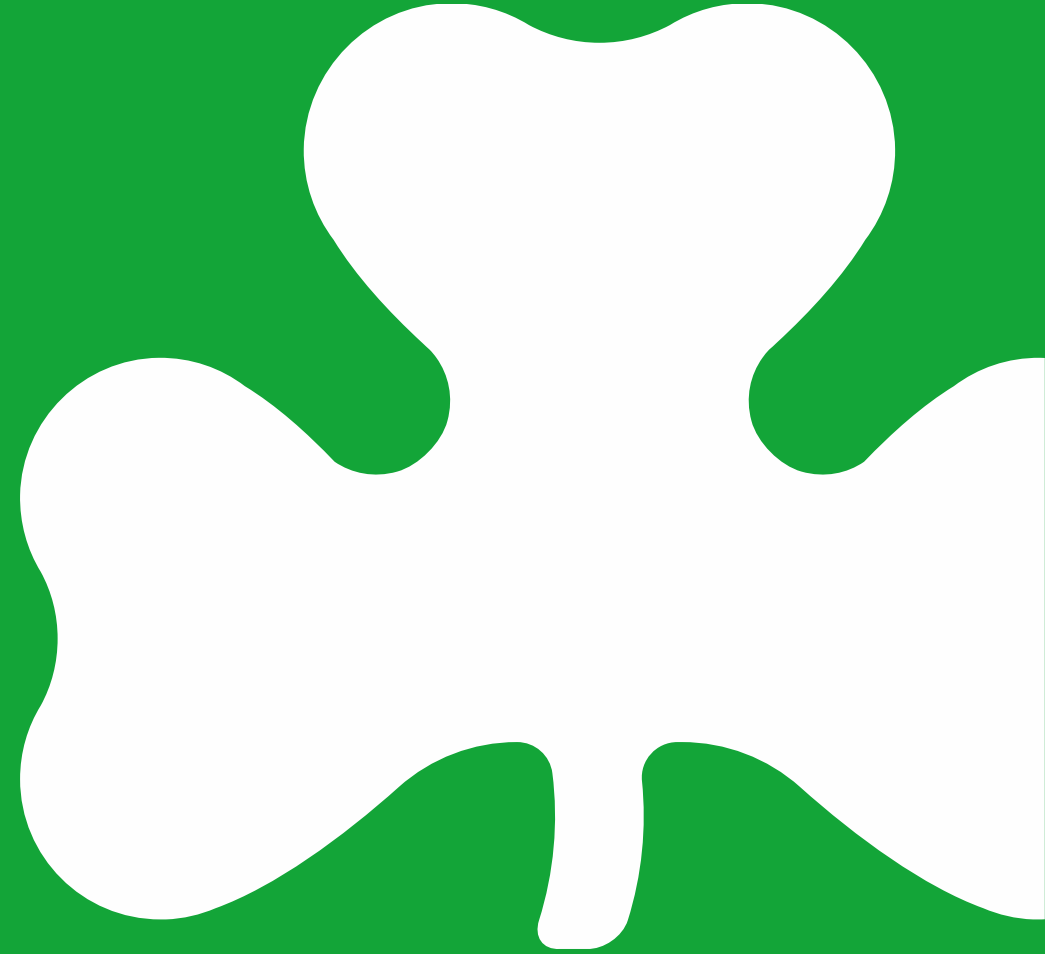
# Optimizing and safeguarding IT equipment

Centre 2000  
&  
Hillsburgh  
Community Centre





# Economic Development





# Economic Development Strategic Plan







- **Downtown Erin and Hillsburgh BR+E Project**
- **Downtown Erin & Hillsburgh Streetscape Furnishing Plan**
- **CIP refresh**



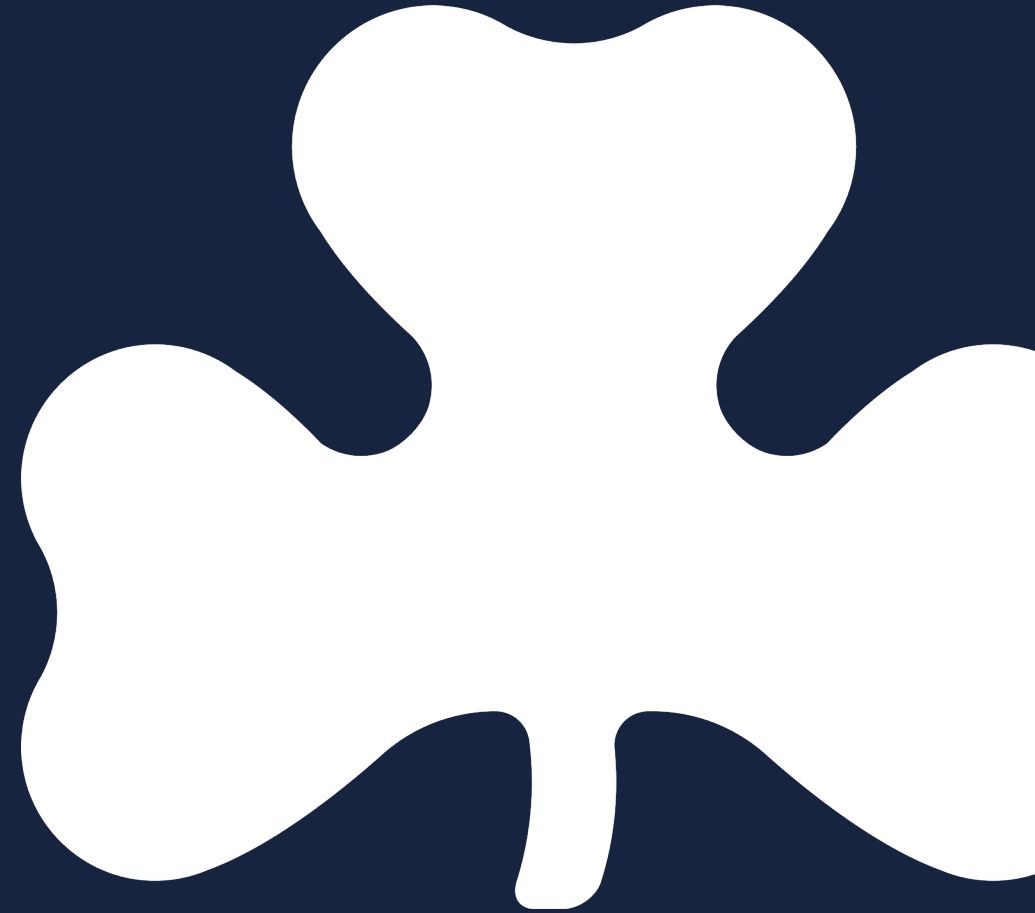
Discover  
**Erin** 

# Discover Erin Marketing Campaign



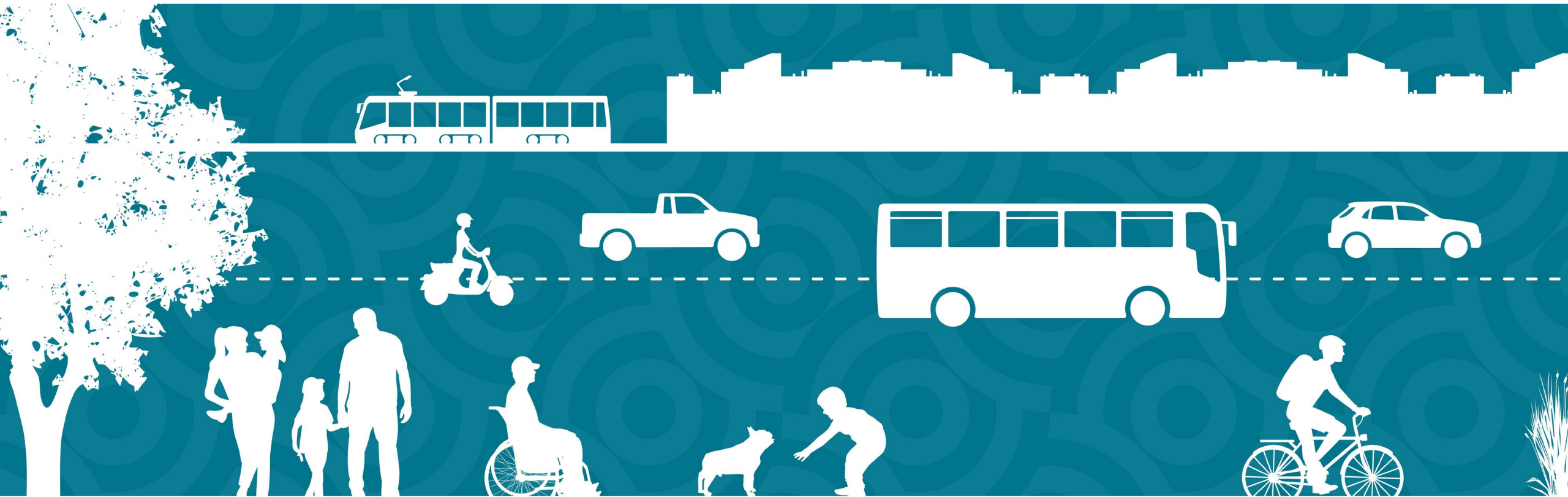


# Infrastructure Services





# Transportation Master Plan



**‘Strategically preparing for growth and enhancing the Town’s existing transportation network.’**



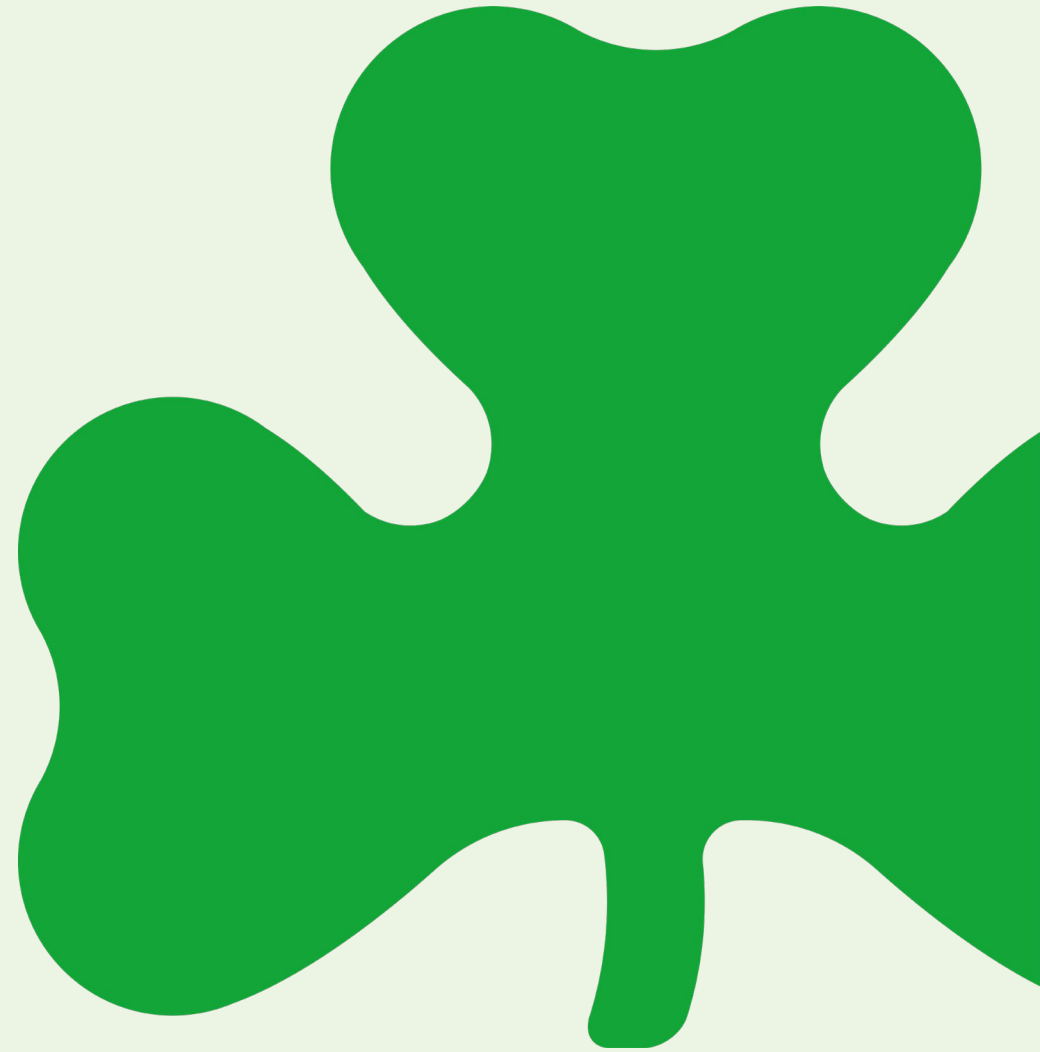
# Wastewater System Development



- **Protecting our water resources**
- **Supporting growth**
- **Improving existing neighbourhoods**



# Community Services





# Building Stronger Community Relationships

## Key Partnerships & Initiatives:

- Successful Family Day collaboration with the Rotary Club of Erin.
- Cultural projects planned with Erin District High School.
- Continued work with the Parks, Recreation & Trails Advisory Committee to guide department priorities.
- Ongoing partnerships within the community to support events and growth in the parks and recreation area.



# Community Engagement & Future Planning

*Community Survey Now Open on Erin Engaged (Closes May 18)*

- Validate 2021 community centre survey results.
- Inform program offerings and update the Parks & Recreation Master Plan.





# Community Consultation Open House Dates

- **Thursday, April 10<sup>th</sup> @ 7 p.m. at Town Hall**
- **Tuesday, April 15<sup>th</sup> @ 5 p.m. at Centre 2000**
- **Wednesday, April 23<sup>rd</sup> @ 7 p.m. Virtual**



# Growing Our Team

## **Administrative Coordinator - TBA**

- Oversees customer service, bookings, invoicing, and rental expansion.

## **Recreation Coordinator – Meagan Johnston**

- Increasing the number of program offerings to meet the growing community needs. (i.e. New Yoga, Expanded Camp Offerings)

## **Operations Supervisor – Jason Falk**

- Oversees all town owned facilities recreation facilities, parks, and corporate buildings (fire halls, town hall, works yard).

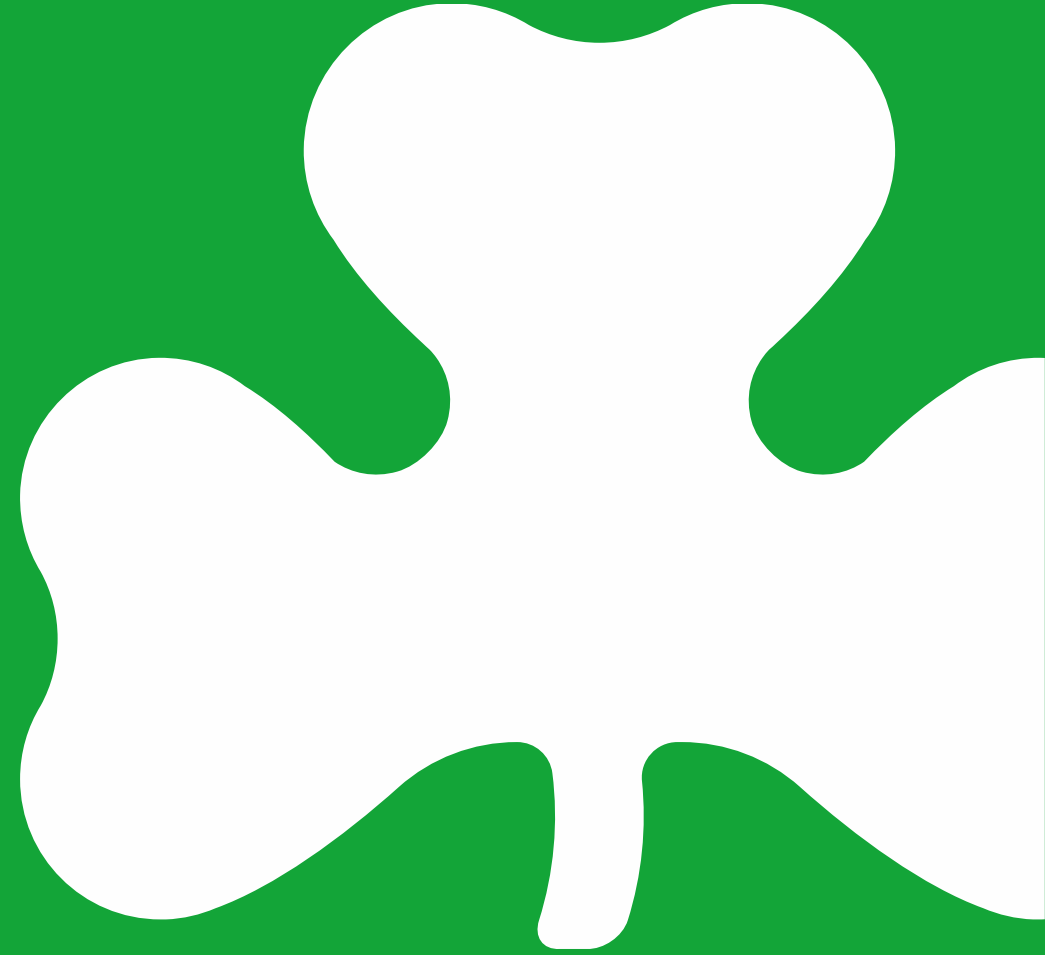
## **Manager of Recreation and Culture – Jessica Stovin**

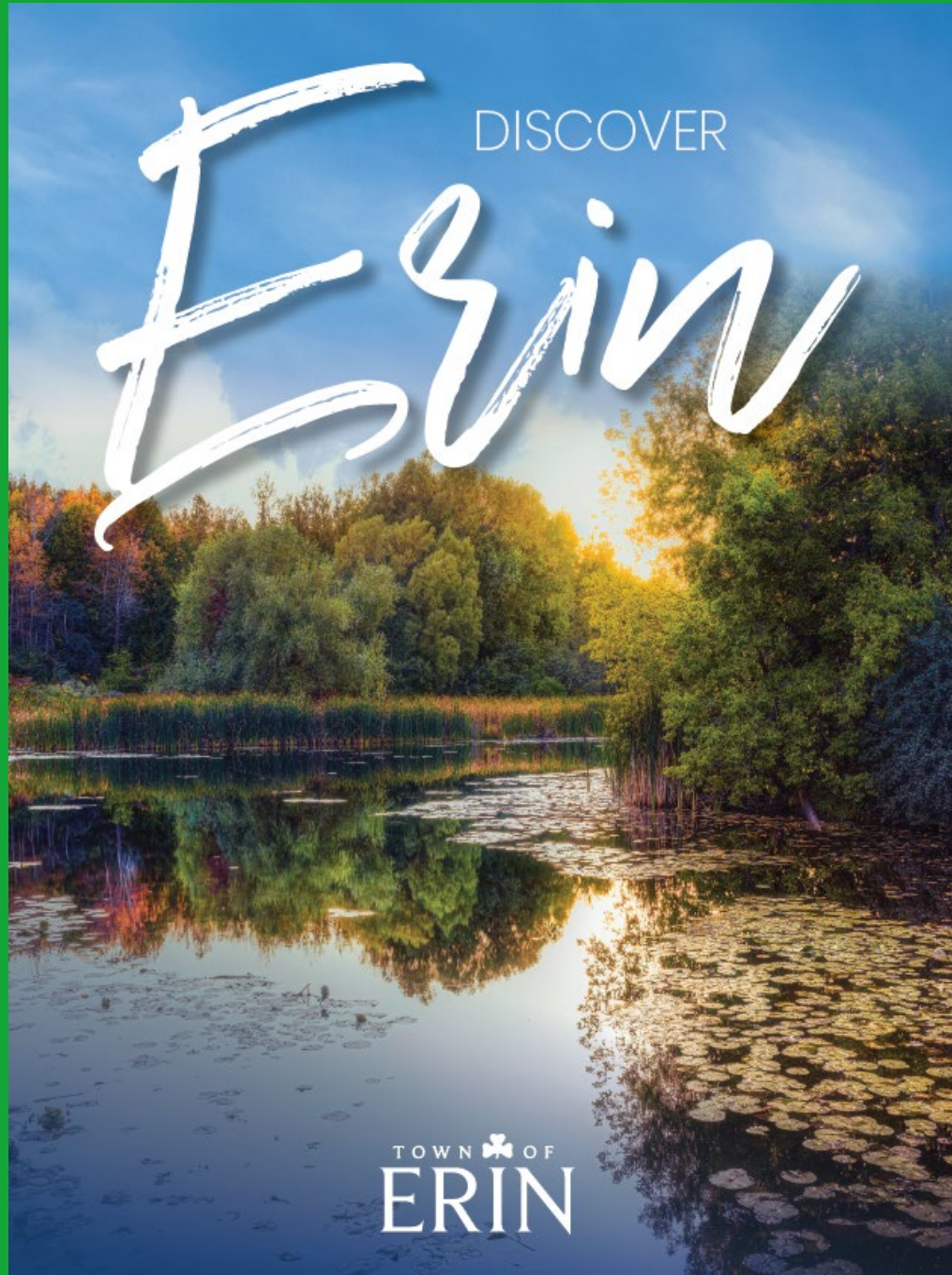
- Strengthening community partnerships and special events, oversight of the Customer Service and Program Line of Business.





# Communications





## Discover Erin Magazine Launches in May!

- Publishes May and October
- 1,500 Copies
- Tourism and Lifestyle Publication
- Bundle-dropped Within Wellington County and Neighbouring Municipalities





# Your Connection To Us

## Erin Engaged

[Home](#) [Projects](#)

## Town of Erin Recreation Community Survey 2025

Thank you for participating in Erin's Recreation Community Survey. Your feedback will help us shape the future of recreation facilities, parks, and programs.

[+ Follow](#)

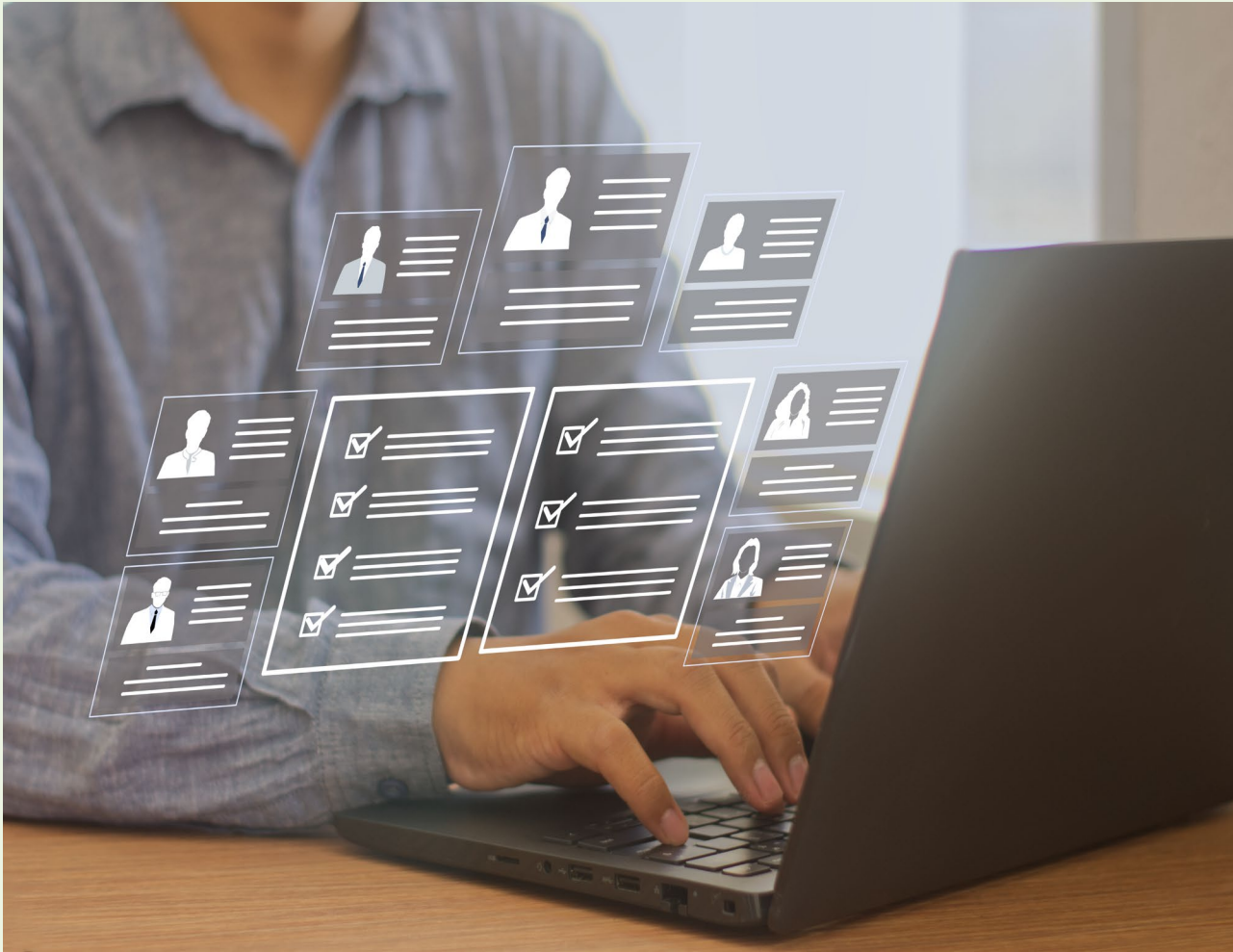


# Digital and online transformation





# Finance

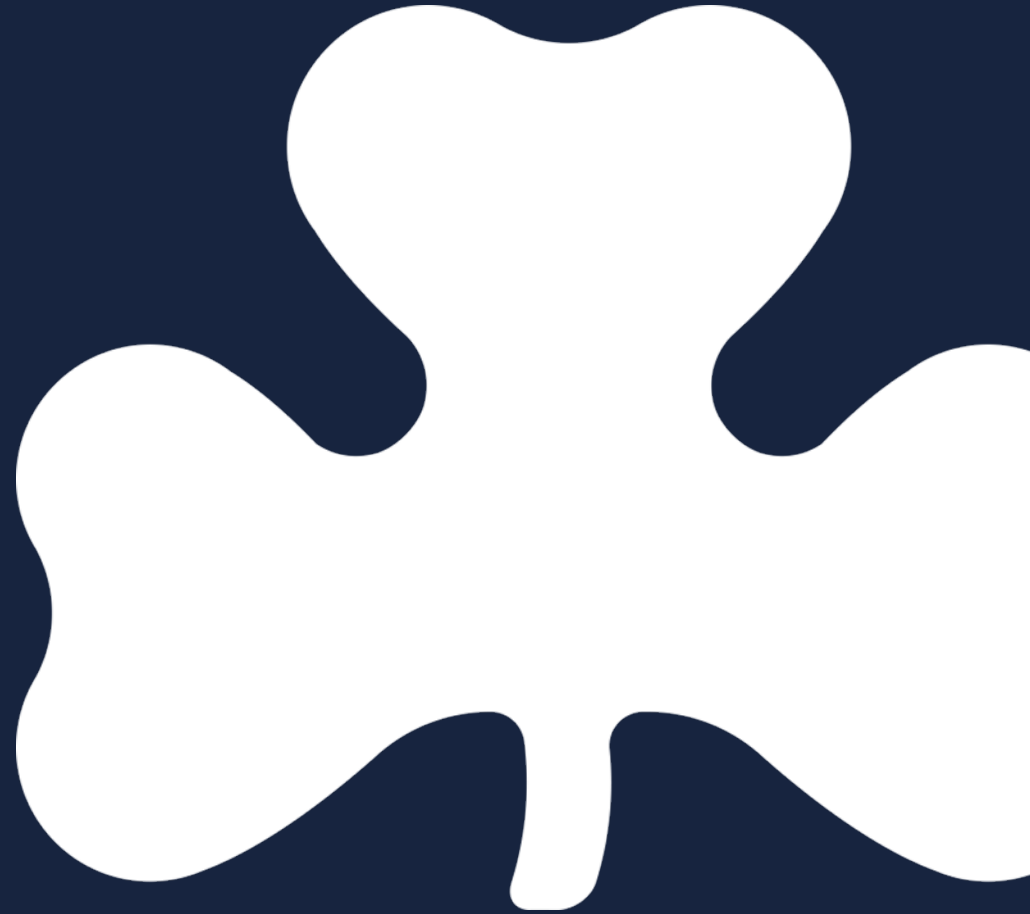




- **The journey has begun to become a greener, paper-less corporation**
- **Student Co-Op Credit Program: Mentoring the local leaders of tomorrow**



# Fire and Emergency Services



# By The Numbers

- 2024 Emergency Runs - 273
- 2 Stations
- 4 Pumpers
- 3 Tankers
- 2 Light Rescue's
- 60 Members
- Proudly Serving Erin 24/7 365





# Station No. 50



- **Fire Station 50 undergoing renovations**





**Thank you** 